



Legend

- BAL 1** Balustrade Type 1  
Aluminium framed glass balustrade system. GC2  
100mm x 50mm tapered aluminium handrail system, PCF2 finish

**BAL 2** Balustrade Type 2  
Aluminium framed glass balustrade system. GC1.  
100mm x 50mm tapered aluminium handrail system, PCF2 finish  
Works with CPC5 / CPC6 / CPC7

**COF1** Concrete off form, type 1  
Natural Finish

**CPC1** Concrete precast wall panel,  
White stain finish.  
Colour equal to Dulux natural  
white.

**CPC2** Concrete precast wall panel,  
Expressed sill at spandrel height.  
White stain finish.  
Colour equal to Dulux natural  
white.

**CPC3** Concrete precast wall panel,  
Expressed sill at spandrel height.  
Natural finish

**CPC4** Concrete precast wall panel,  
Splayed  
White stain finish.  
Colour equal to Dulux natural  
white.

**CPC5** Concrete precast spandrel panel,  
White stain finish.  
Colour equal to Dulux natural  
white.

**CPC6** Concrete precast spandrel panel  
Natural finish

**CPC7** Concrete precast spandrel panel  
Decorative profile  
Natural finish

**CPC8** Concrete precast spandrel panel  
Decorative profile  
White stain finish.  
Colour equal to Dulux natural  
white.

**GC1** Glass, clear  
Aluminium framing  
Finish: PCF1

**GC2** Glass, translucent  
Aluminium framing  
Finish: PCF1

**GC3** Glass, colourback to match PCF1  
Aluminium framing  
Finish: PCF1

**GC4** Louvred glass, clear  
Aluminium framing  
Finish: PCF1

**HR1** Handrail  
Tubular 32 mm  
Metal finish.

**LV1** Louvre, Type 1  
Aluminium Louvres  
Aluminium framing  
Finish: PCF1

**PCF1** Powder coat finish, type 1  
Duralloy Anotec 'Mid Bronze' Matt

**PCF2** Powder coat finish, type 2  
Colorbond metallic steel aries

**SCN1** Aluminium Screening.  
Finish: PCF2

**STL1** Vertical 75 x 25 steel fence with  
Integrated Gate for access to Terraces.  
No top rail.  
Finish: PCF1

**OH1** Horizontal aluminium Shading device.  
350x50 mm  
Finish: PCF1
- NOTE:**  
GC1 Typical

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CLIENT  
**Hutchinson Builders**  
23 Dunning Avenue, Rosebery NSW 2018

DLC3 Quality Endorsed Company ISO 9001:2015, Registration Number 20476  
Notwithstanding to whomsoever  
Turner Architect Nicholas Turner 6055 4894 99 994 994 971

Rev	Date	Approved by	Issue Name
A	28.05.19	VS	Development Application
B	08.07.19	VS	Development Application
C	20.09.19	VS	Development Application
D	01.07.20	VS	Development Application

Project Title  
**Bigge Street Warwick Farm**  
4-6 Bigge Street Warwick Farm NSW 2170 Australia

Drawing Title  
**GA Elevations**  
**West Elevation**

Scale <b>1:200 @A1, 50%@A3</b>	Project No. <b>18013</b>	Drawn by <b>DF</b>
Status <b>For Development Application</b>	Dwg No. <b>DA-250-010</b>	Rev <b>D</b>

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Legend

<div>BAL 1</div> <div>Balustrade Type 1 Aluminium framed glass balustrade system. GC2. 100mm x 50mm tapered aluminium handrail system, PCF2 finish</div>	<div>COF1</div> <div>Concrete off form, type 1 Natural Finish</div>	<div>CPC1</div> <div>Concrete precast wall panel, White stain finish. Colour equal to Dulux natural white.</div>	<div>CPC5</div> <div>Concrete precast spandrel panel, White stain finish. Colour equal to Dulux natural white.</div>	<div>GC1</div> <div>Glass, clear Aluminium framing Finish: PCF1</div>	<div>HR1</div> <div>Handrail Tubular 32 mm Metal finish.</div>	<div>SCN1</div> <div>Aluminium Screening, Finish: PCF2</div>	<div>NOTE:</div> <div>GC1 Typical</div>
<div>BAL 2</div> <div>Balustrade Type 2 Aluminium framed glass balustrade system. GC1. 100mm x 50mm tapered aluminium handrail system, PCF2 finish Works with CPC5 / CPC6 / CPC7</div>	<div>CPC2</div> <div>Concrete precast wall panel, Expressed sill at spandrel height. White stain finish. Colour equal to Dulux natural white.</div>	<div>CPC6</div> <div>Concrete precast spandrel panel Natural finish</div>	<div>GC2</div> <div>Glass, translucent Aluminium framing Finish: PCF1</div>	<div>LV1</div> <div>Louvre, Type 1 Aluminium Louvres Aluminium framing Finish: PCF1</div>	<div>STL1</div> <div>Vertical 75 x 25 steel fence with Integrated Gate for access to Terraces. No top rail. Finish: PCF1</div>		
	<div>CPC3</div> <div>Concrete precast wall panel, Expressed sill at spandrel height. Natural finish</div>	<div>CPC7</div> <div>Concrete precast spandrel panel Decorative profile Natural finish</div>	<div>GC3</div> <div>Glass, colourback to match PCF1 Aluminium framing Finish: PCF1</div>	<div>PCF1</div> <div>Powder coat finish, type 1 Duralloy Anotec 'Mid Bronze' Matt</div>	<div>OH1</div> <div>Horizontal aluminium Shading device. 350x50 mm Finish: PCF1</div>		
	<div>CPC4</div> <div>Concrete precast wall panel, Splayed White stain finish. Colour equal to Dulux natural white.</div>	<div>CPC8</div> <div>Concrete precast spandrel panel Decorative profile White stain finish. Colour equal to Dulux natural white.</div>	<div>GC4</div> <div>Louved glass, clear Aluminium framing Finish: PCF1</div>	<div>PCF2</div> <div>Powder coat finish, type 2 Colorbond metallic steel aries</div>			

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23 Dunning Avenue, Rosebery NSW 2018

Rev	Date	Approved by	Issue Name	Application
A	28.05.19	VS	Development Application	
B	08.07.19	VS	Development Application	
C	20.09.19	VS	Development Application	

Project Title  
**Bigge Street Warwick Farm**  
4-6 Bigge Street Warwick Farm NSW 2170 Australia

Drawing Title  
**GA Elevations**  
**North Elevation**

Scale <b>1:200 @A1, 50% @A3</b>	Project No. <b>18013</b>	Drawn by <b>DF</b>	North ↑
Status <b>For Development Application</b>	Dwg No. <b>DA-250-020</b>	Rev <b>C</b>	

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Legend

- BAL 1

Balustrade Type 1  
Aluminium framed glass balustrade system. GC2  
100mm x 50mm tapered aluminium handrail system, PCF2 finish
- BAL 2

Balustrade Type 2  
Aluminium framed glass balustrade system. GC1  
100mm x 50mm tapered aluminium handrail system, PCF2 finish  
Works with CPC5 / CPC6 / CPC7
- COF1

Concrete off form, type 1  
Natural Finish
- CPC1

Concrete precast wall panel,  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC2

Concrete precast wall panel,  
Expressed sill at spandrel height.  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC3

Concrete precast wall panel,  
Expressed sill at spandrel height.  
Natural finish
- CPC4

Concrete precast wall panel,  
Splayed  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC5

Concrete precast spandrel panel,  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC6

Concrete precast spandrel panel  
Natural finish
- CPC7

Concrete precast spandrel panel  
Decorative profile  
Natural finish
- CPC8

Concrete precast spandrel panel  
Decorative profile  
White stain finish.  
Colour equal to Dulux natural  
white.
- GC1

Glass, clear  
Aluminium framing  
Finish: PCF1
- GC2

Glass, translucent  
Aluminium framing  
Finish: PCF1
- GC3

Glass, colourback to match PCF1  
Aluminium framing  
Finish: PCF1
- GC4

Louvred glass, clear  
Aluminium framing  
Finish: PCF1
- HR1

Handrail  
Tubular 32 mm  
Metal finish.
- LV1

Louvre, Type 1  
Aluminium Louvres  
Aluminium framing  
Finish: PCF1
- PCF1

Powder coat finish, type 1  
Duralloy Anotec 'Mid Bronze' Matt
- PCF2

Powder coat finish, type 2  
Colorbond metallic steel aries
- SCN1

Aluminium Screening,  
Finish: PCF2
- STL1

Vertical 75 x 25 steel fence with  
Integrated Gate for access to Terraces.  
No top rail.  
Finish: PCF1
- OH1

Horizontal aluminium Shading device.  
350x50 mm  
Finish: PCF1

NOTE:  
GC1 Typical

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Notwithstanding to Nicholas Turner 6955, APR 98 594 094 871

Rev	Date	Approved by	Issue Name	Application
A	28.05.19	VS	Development	Application
B	08.07.19	VS	Development	Application
C	20.09.19	VS	Development	Application

Project Title  
**Bigge Street Warwick Farm**  
4-6 Bigge Street Warwick Farm NSW 2170 Australia

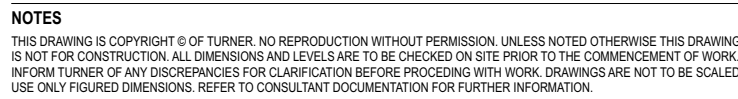
Drawing Title  
**GA Elevations**  
**South Elevation**

Scale	Project No.	Drawn by	North
1:200 @A1, 50% @A3	18013	DF	↑
Status	DA-250-040	Rev	C
For Development Application			

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Rev	Date	Approved by	Issue Name
A	28.05.19	VS	Development Application
B	08.07.19	VS	Development Application
C	20.09.19	VS	Development Application

0 1 2 5 10 20m

Scale  
**1:200 @A1, 50% @A3**


Status  
**For Development Application**

Project No.  
**18013**

Dwg No.  
**DA-350-010**

Drawn by  
**DF**

Rev  
**C**

North  


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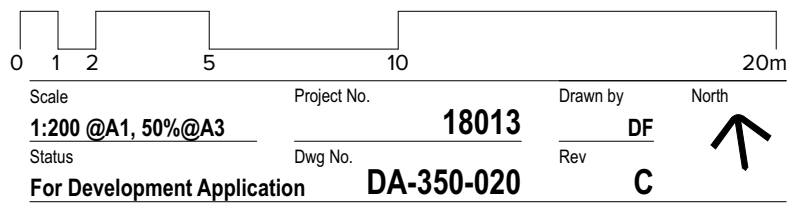
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DLCS Quality Endorsment Company ISO 9001:2015, Registration Number 20476  
Notwithstanding to whomsoever, Nicholas Turner 4985, ABN 98 584 094 871

Rev	Date	Approved by	Issue Name	Application
A	28.05.19	VS	Development Application	
B	08.07.19	VS	Development Application	
C	20.09.19	VS	Development Application	

Project Title  
**Bigge Street Warwick Farm**  
4-6 Bigge Street Warwick Farm NSW 2170 Australia

Drawing Title  
**GA Sections**  
**Section BB**



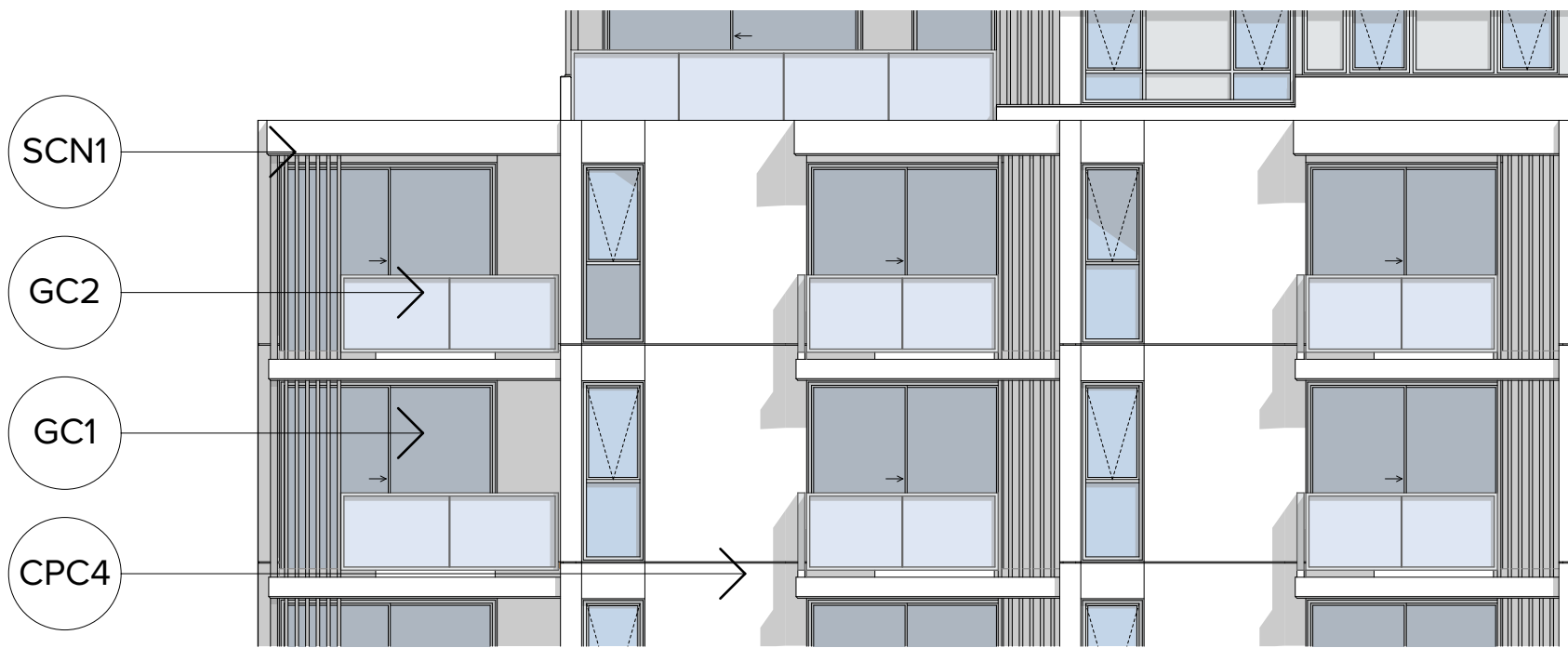
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West Facade



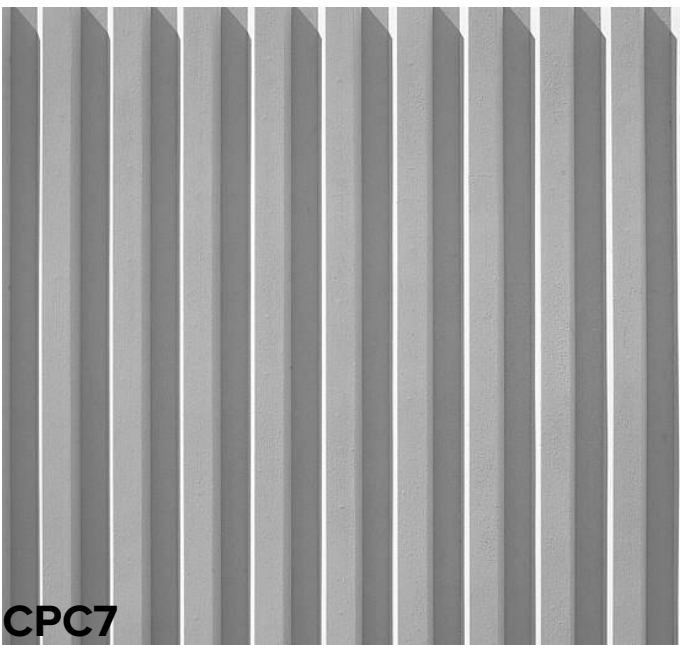
North Facade



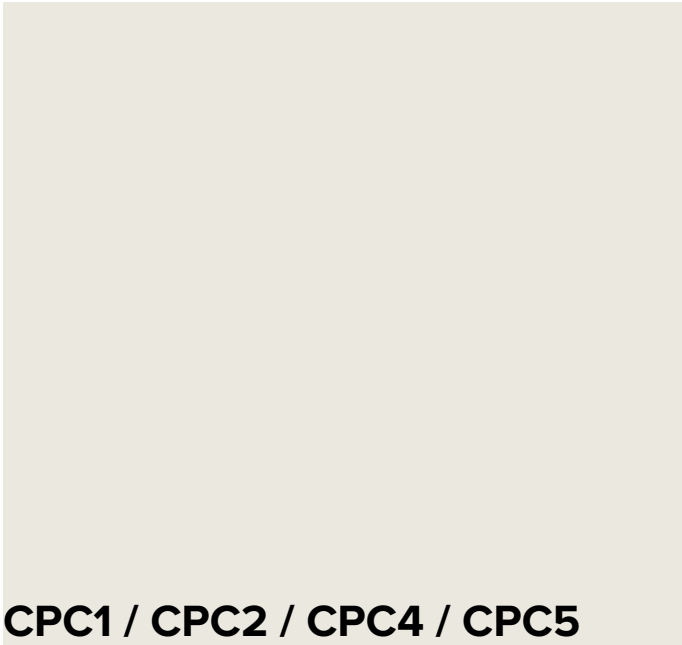
CPC8  
Decorative Precast Profile



COF1  
Precedent Image



CPC7  
Decorative Precast Profile



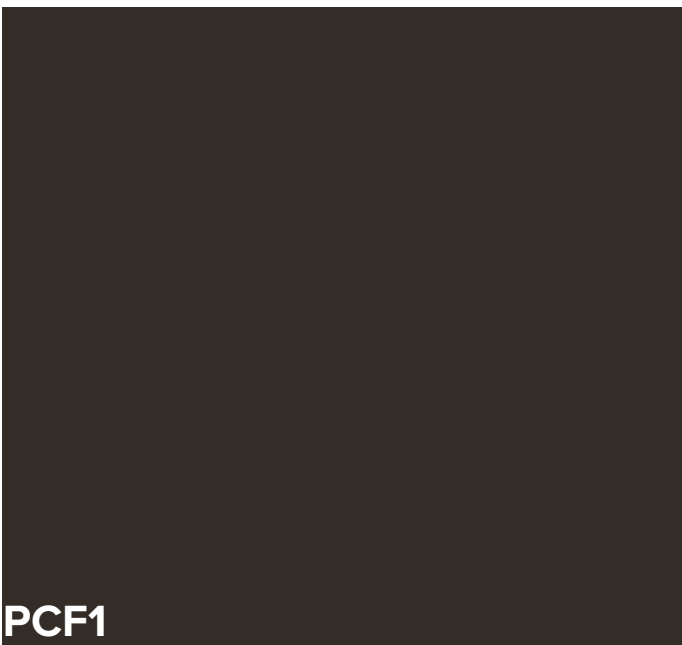
CPC1 / CPC2 / CPC4 / CPC5



GC1



GC2



PCF1



PCF2

Legend

- BAL 1** Balustrade Type 1  
Aluminium framed glass balustrade system. GC2.  
100mm x 50mm tapered aluminium handrail system, PCF2 finish
- BAL 2** Balustrade Type 2  
Aluminium framed glass balustrade system. GC1.  
100mm x 50mm tapered aluminium handrail system, PCF2 finish  
Works with CPC5 / CPC6 / CPC7
- COF1** Concrete off form, type 1  
Natural finish
- CPC1** Concrete precast wall panel,  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC2** Concrete precast wall panel,  
Expressed sill at spandrel height.  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC3** Concrete precast wall panel,  
Expressed sill at spandrel height.  
Natural finish
- CPC4** Concrete precast wall panel,  
Splayed  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC5** Concrete precast spandrel panel,  
White stain finish.  
Colour equal to Dulux natural  
white.
- CPC6** Concrete precast spandrel panel  
Natural finish
- CPC7** Concrete precast spandrel panel  
Decorative profile  
Natural finish
- CPC8** Concrete precast spandrel panel  
Decorative profile  
White stain finish.  
Colour equal to Dulux natural  
white.
- GC1** Glass, clear  
Aluminium framing  
Finish: PCF1
- GC2** Glass, translucent  
Aluminium framing  
Finish: PCF1
- GC3** Glass, colourback to match PCF1  
Aluminium framing  
Finish: PCF1
- GC4** Louvred glass, clear  
Aluminium framing  
Finish: PCF1
- HR1** Handrail  
Tubular 32 mm  
Metal finish.
- LV1** Louvre, Type 1  
Aluminium Louvres  
Aluminium framing  
Finish: PCF1
- PCF1** Powder coat finish, type 1  
Duralloy Anotec 'Mid Bronze' Matt
- PCF2** Powder coat finish, type 2  
Colorbond metallic steel aries
- SCN1** Aluminium Screening.  
Finish: PCF2
- STL1** Vertical 75 x 25 steel fence with  
Integrated Gate for access to Terraces.  
No top rail.  
Finish: PCF1
- OH1** Horizontal aluminium Shading device.  
350x50 mm  
Finish: PCF1

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CLIENT  
**Hutchinson Builders**  
23 Dunning Avenue, Rosebery NSW 2018

Rev	Date	Approved by	Issue Name	Application
A	15.05.19	VS	Development Application	
B	08.07.19	VS	Development Application	
C	20.09.19	VS	Development Application	

Project Title  
**Bigge Street Warwick Farm**  
4-6 Bigge Street Warwick Farm NSW 2170 Australia

Drawing Title  
**Materials & Finishes**  
**Materials & Finishes Selection**

Scale <b>1:100 @A1, 50%@A3</b>	Project No. <b>18013</b>	Drawn by <b>DF</b>	North ↑
Status <b>For Development Application</b>	Dwg No. <b>DA-830-010</b>	Rev <b>C</b>	

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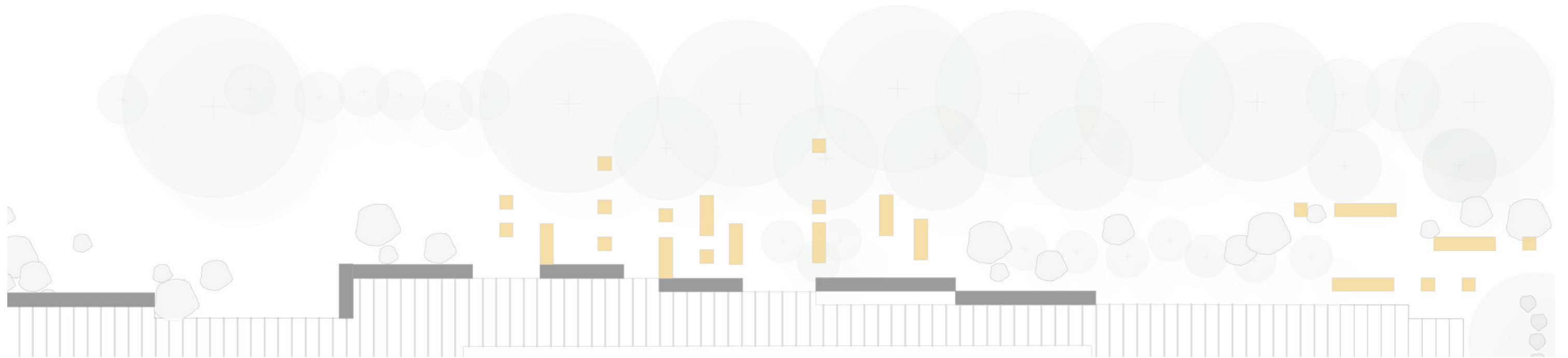
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# SYDNEY DESIGN COLLECTIVE

Collaborative Landscape Architecture

## 4-6 Bigge Street, Liverpool | 01 Landscape Design Development

REV E\_01/07/2020



SYDNEY DESIGN COLLECTIVE

Client: Hutchinson Builders

Architect: Turner



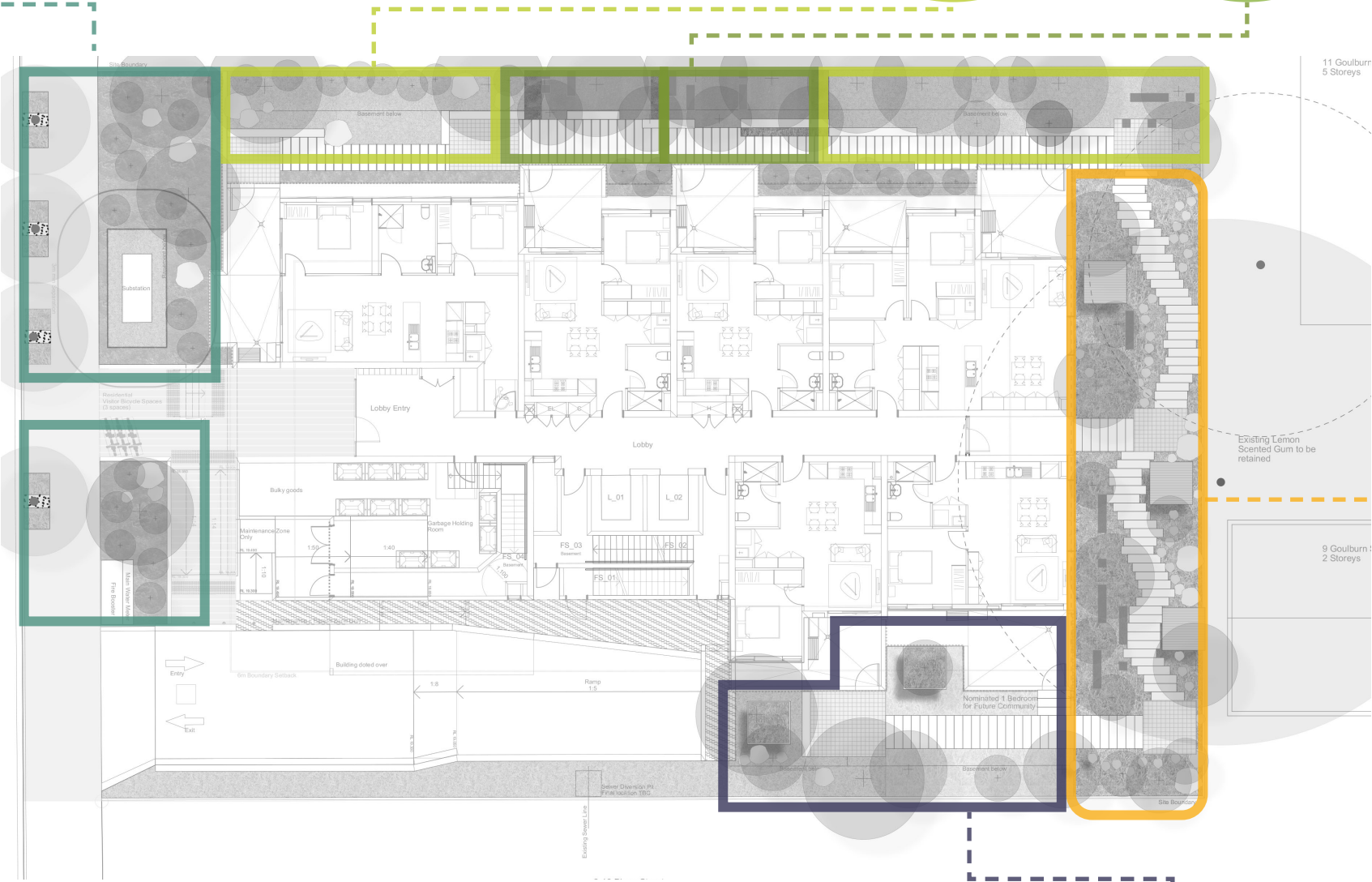
# Landscape Concept | Proposed Landscape Programme

## Street Address and Green Relief

- Updated planting and surrogate large street trees to Liverpool City Council Public Domain Plan..
- Stone seats and as a landscape feature.
- Street Trees
- Massed Planting

## Northern Garden Rooms

- Differing character, landscape spaces, turf, and tree groves.
- Walls for seating and additional soil for trees.
- Separation between spaces for useability.



## Communal Space (Southern)

- Open flexible space that is an extension of the communal room.
- Trees in large planters for soil over basement.
- Concrete unit paving.

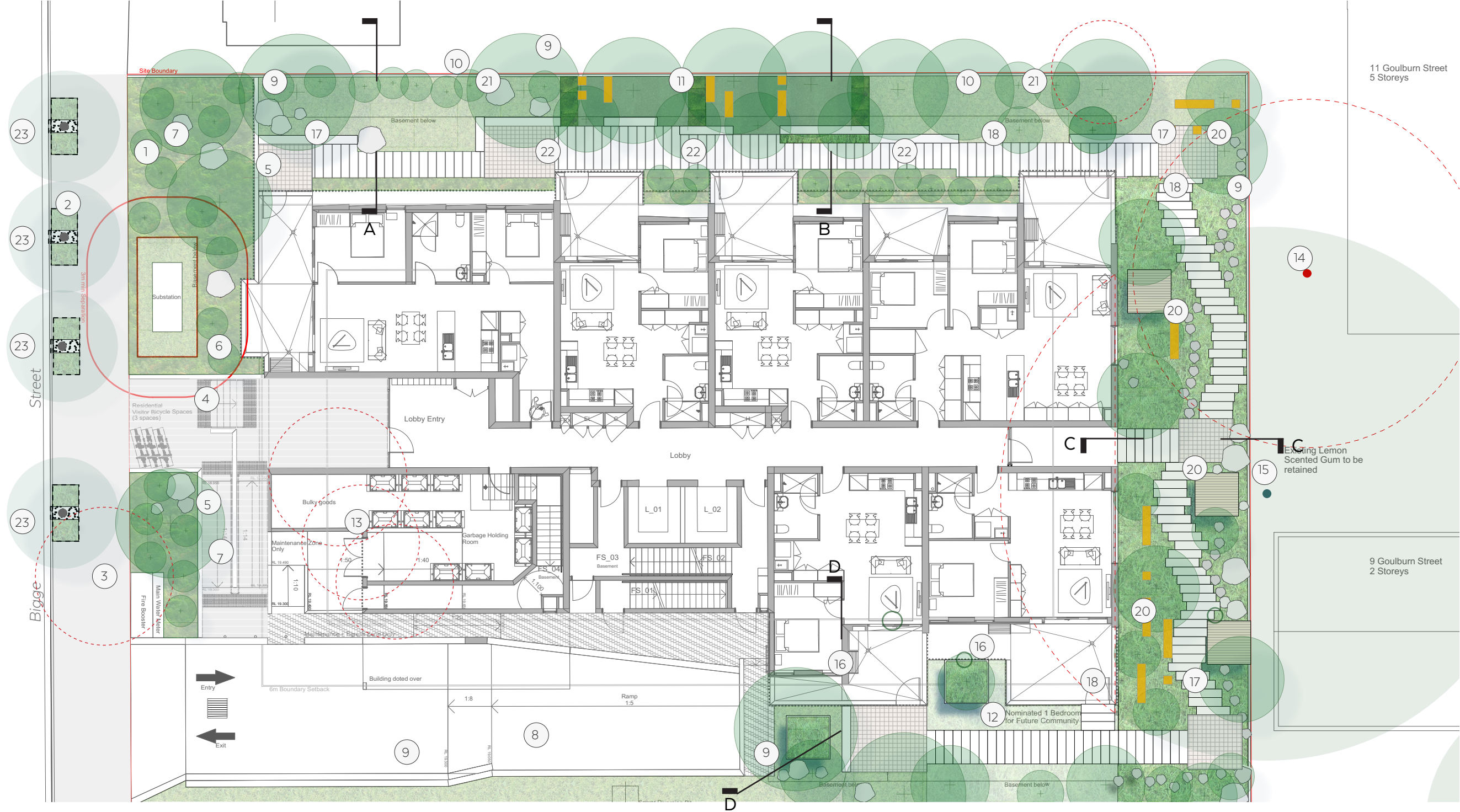


## Shady Respite (Eastern Courtyard)

- Heavy shade from existing Eucalypt carefully protected and retained.
- Informal play integrated with seating and access
- Decks with composite timber finish for useability.



Landscape Base | Plan- Ground Floor



Legend

- 1. Streetscape to Liverpool City Centre Public Domain Plan (new insitu concrete footpath with full width paving and street trees).
- 2. New street trees *Lophostemon conferta* (Brushbox) to Liverpool City Public Domain Plan.
- 3. Existing Bottlebrush street tree removed for drive way line of sight.
- 4. Special paving at front entry, with possibility for interpretation of Hoddle Grid Design to be developed further after DA.
- 5. Large trees to supplement street within landscape setback. Proposed species to be native rainforest tree, Silver Ash (*Flindersia schottiana*).
- 6. Rounded boulders as a entry landscape feature and informal seating. All access ramp to entrance.
- 7. Native low and medium height shrub planting within landscape setback.
- 8. Side setback low shrubs only to allow according to BCA fire access code requirements.
- 9. Boundary and privacy fence 1.8m tall.
- 10. Northern courtyard with varied landscape rooms to allow different groups of people to enjoy the spaces and to maximise amenity and provide different garden character.
- 11. Quiet communal garden with seating within beautiful planting for contemplation and relaxation.
- 12. Southern courtyard with flexibility communal use.
- 13. Small group of Bottlebrush and *Pittosporum* removed due to building work.
- 14. Lemon scented Gum removed for neighbouring development.
- 15. Existing large Lemon scented Gum in neighbouring property retained. Note there is some incursion into the root zone and the canopy will need to be shaped. Additional input from the project arborist required to direct protection method and strategy..
- 16. Planting in raised garden area with small trees in open bottom planter retaining edges for additional soil depth.
- 17. Stone paving square for all access circulation and turning and to define seating nodes.
- 18. Informal plank paving, with butted joints and continuous path of travel or all access egress.
- 19. Small trees in retaining edges in deep soil zone to give a cohesive character to the southern courtyard.
- 20. Playscape of hopping logs, beams and decks for all ages.
- 21. Potential outdoor drying area as part of lawn gardens.
- 22. Shrub planting is raised garden over basement.
- 23. Kerb inlet (dolphin kerb) for passive irrigation of street trees, per Liverpool City Centre Public Domain Master Plan detail.



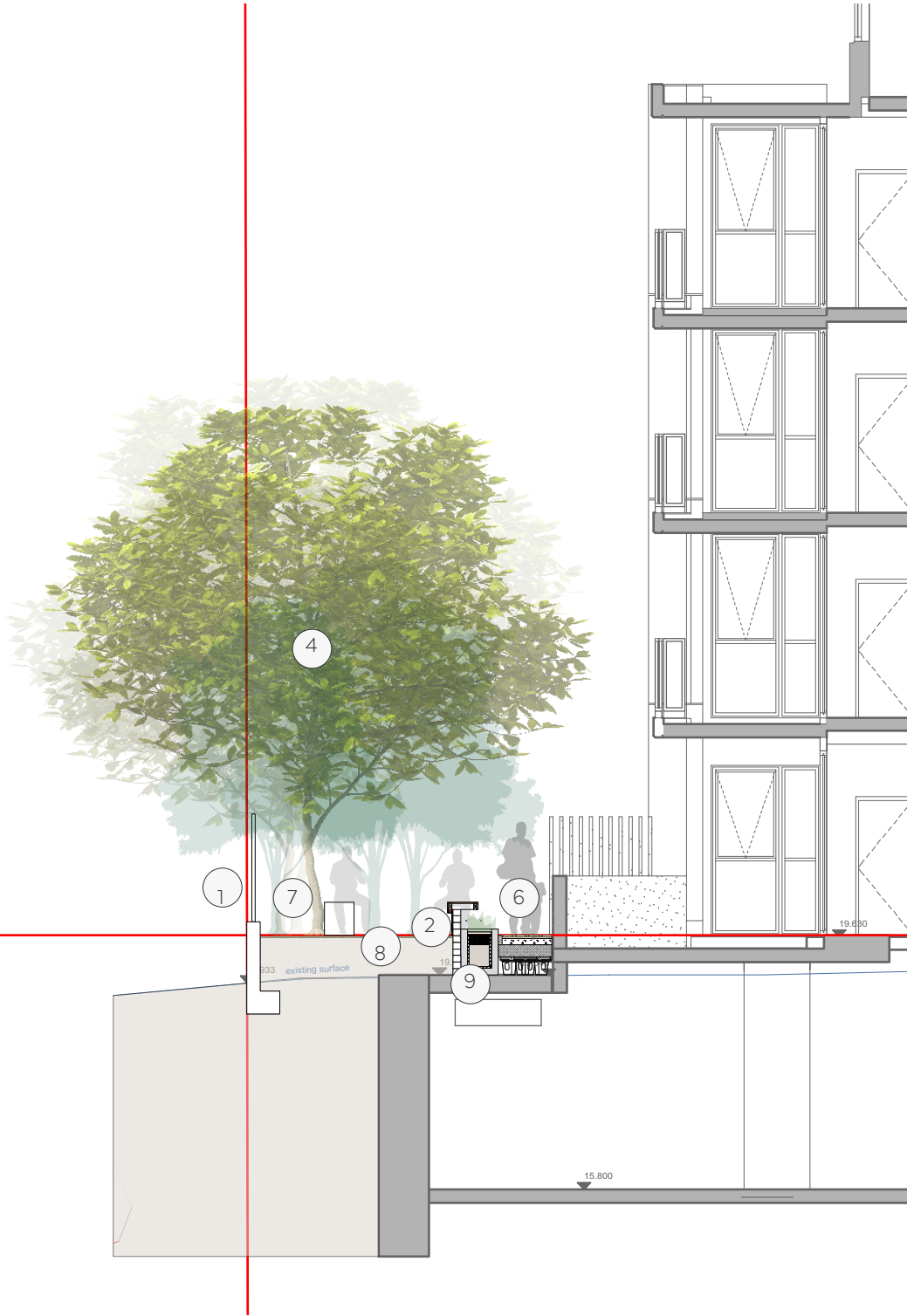
# Landscape Base – Site Section

### Legend

- 1. 1.8m timber lapped and capped boundary fence.
- 2. Raised seating walls to create additional depth of soil over basement for growing small shade trees. Seating faces inwards from garden facing the access path.
- 3. Northern courtyard adjacent to indoor communal space with the shady garden and informal and smaller seating areas,
- 4. Large perimeter tree for privacy and screening with the deep soil zone.
- 5. Large planter over basement to continue garden on other side of path.
- 6. 1200mm all weather access path to all courtyard areas.
- 7. Additional small seating spaces throughout the communal garden.
- 8. Turf area with no mounding required over basement and perimeter facing wall facing in towards communal space.
- 9. Planted edge between wall and pathway.



Landscape Section A- A - Scale 1:100

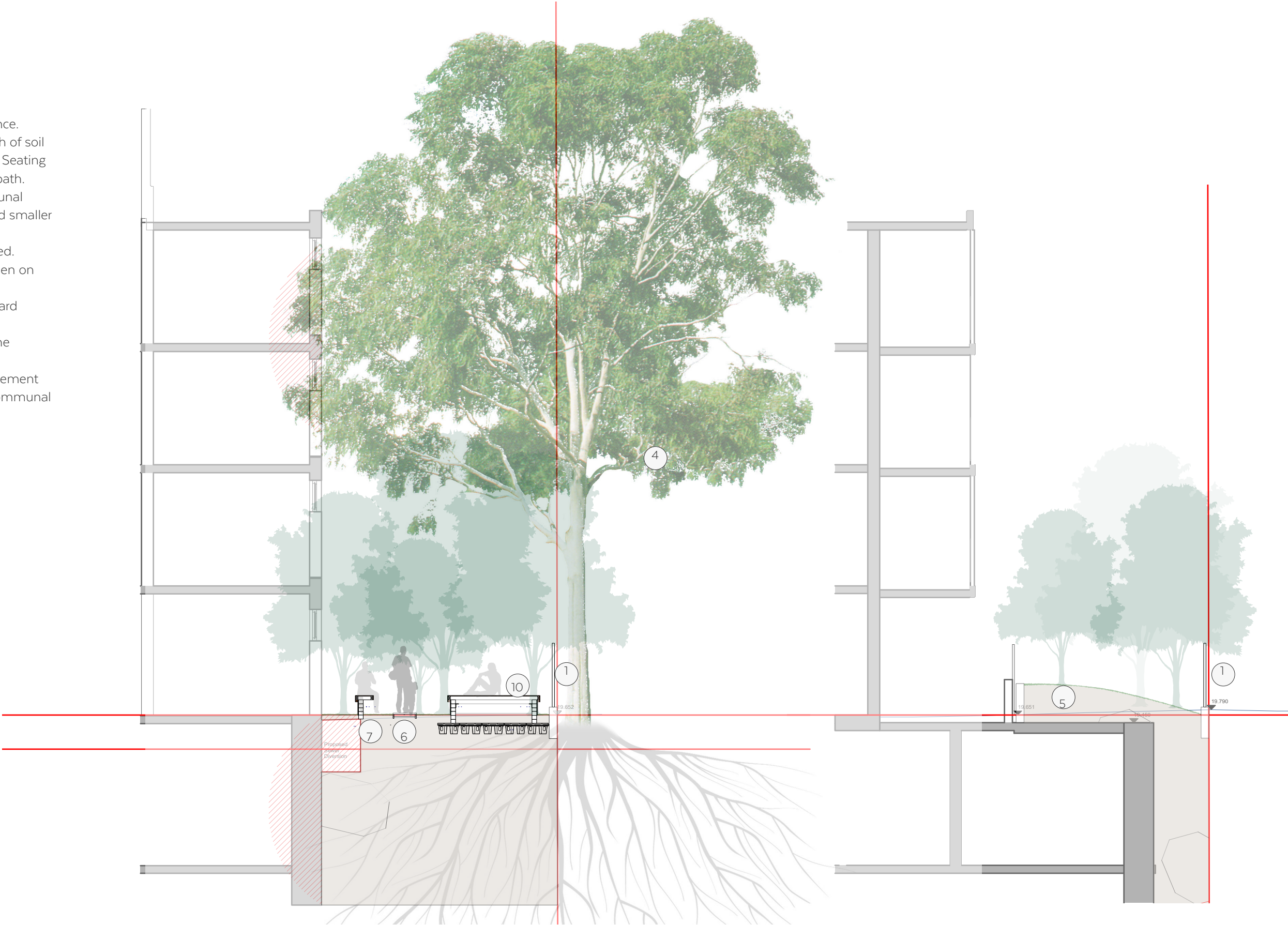


Landscape Section B- B - Scale 1:100

# Landscape Base – Site Section

## Legend

- 1. 1.8m timber lapped and capped boundary fence.
- 2. Raised seating walls to create additional depth of soil over basement for growing small shade trees. Seating faces inwards from garden facing the access path.
- 3. Northern courtyard adjacent to indoor communal space with the shady garden and informal and smaller seating areas,
- 4. Existing lemon scented gum tree to be retained.
- 5. Large planter over basement to continue garden on other side of path.
- 6. 1200mm all weather access path to all courtyard areas.
- 7. Additional small seating spaces throughout the communal garden.
- 8. Turf area with no mounding required over basement and perimeter facing wall facing in towards communal space.
- 9. Planted edge between wall and pathway.
- 10. Timer desk.

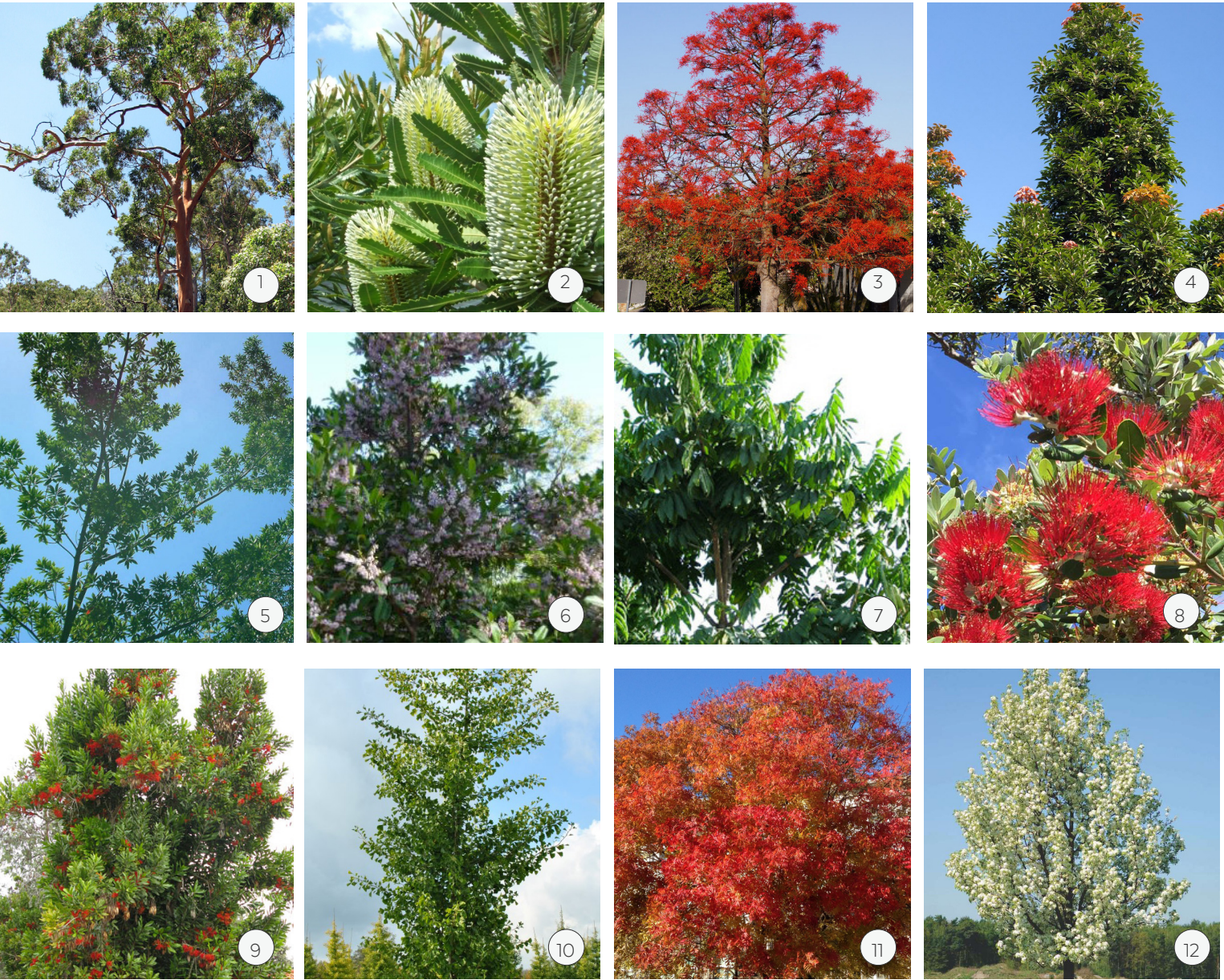


Landscape Section C- C - Scale 1:100

Landscape Section D- D - Scale 1:100

1 [Drawing Title]  
Scale: 1:100





EVERGREEN TREES

- 1. Angophora costata
- 2. Banksia serrata
- 3. Brachychiton acerifolius
- 4. Elaeocarpus eumundii
- 5. Elaeocarpus grandis
- 6. Elaeocarpus reticulatus
- 7. Flindersia schottiana
- 8. Metrosideros excelsa
- 9. Stenocarpus sinuatus

DECIDUOUS TREES

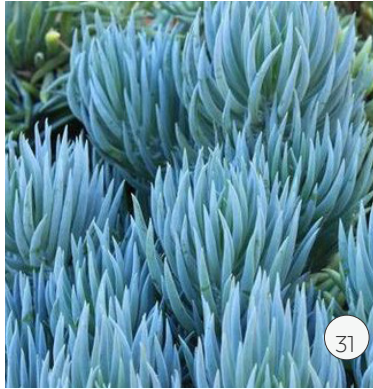
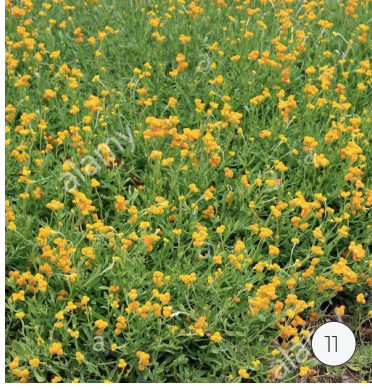
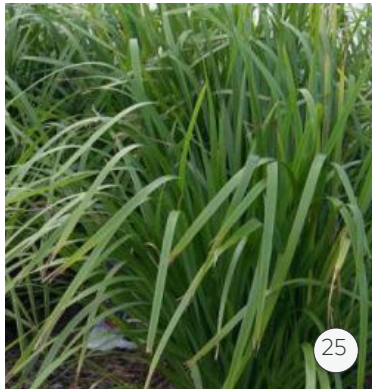
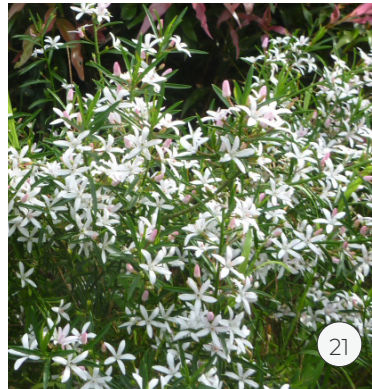
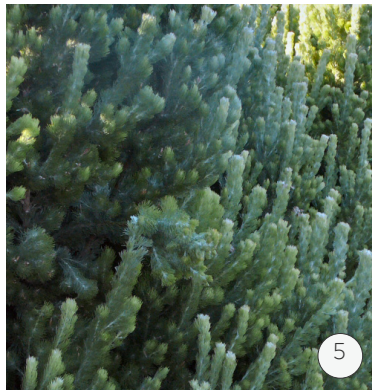
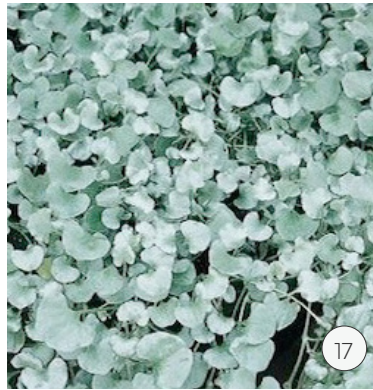
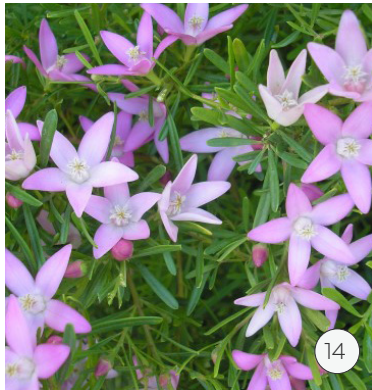
- 10. Ginkgo fastigiata
- 11. Pistacia chinensis
- 12. Pyrus calleryana ‘Capital’

BOTANICAL NAME	COMMON NAME	MATURE SIZE	POT SIZE
EVERGREEN TREES			
Angophora costata	Smooth-barked Apple	20 x 12	400L
Banksia serrata	Old mans Banksia	10 x 5	200L
Brachychiton acerifolius	Illawara flame tree	12 x 6	400L
Elaeocarpus eumundii	Smooth-leaved Quandong	10 x 3	200L
Elaeocarpus grandis	Silver Quandong	30 x 5	200L
Elaeocarpus reticulatus	Blueberry ash	6 x 3	200L
Flindersia schottiana	Cudgeri	7 x 5	200L
Metrosideros excelsa	New Zealand Christmas bush	10 x 10	100L
Stenocarpus sinuatus	Firewheel tree	10 x 4	200L
Syncarpia glomulifera	Turpentine tree	25 x 10	400L

BOTANICAL NAME	COMMON NAME	MATURE SIZE	POT SIZE
DECIDUOUS TREES			
Ginkgo fastigiata	Maidenhair tree	8 x 2	400L
Pistacia chinensis	Chinese pistache	8 x 6	400L
Pyrus calleryana 'Capital'	Capital Ornamental Pear	5 x 3	400L



Planting | Shrubs and understorey- Northern and Western Courtyard



13. Correa baeuerlenii  
14. Crowea exaltata  
15. Dianella caerulea  
16. Dianella longifolia  
17. Dichondra 'Silver Falls'  
18. Dichondra 'repens'

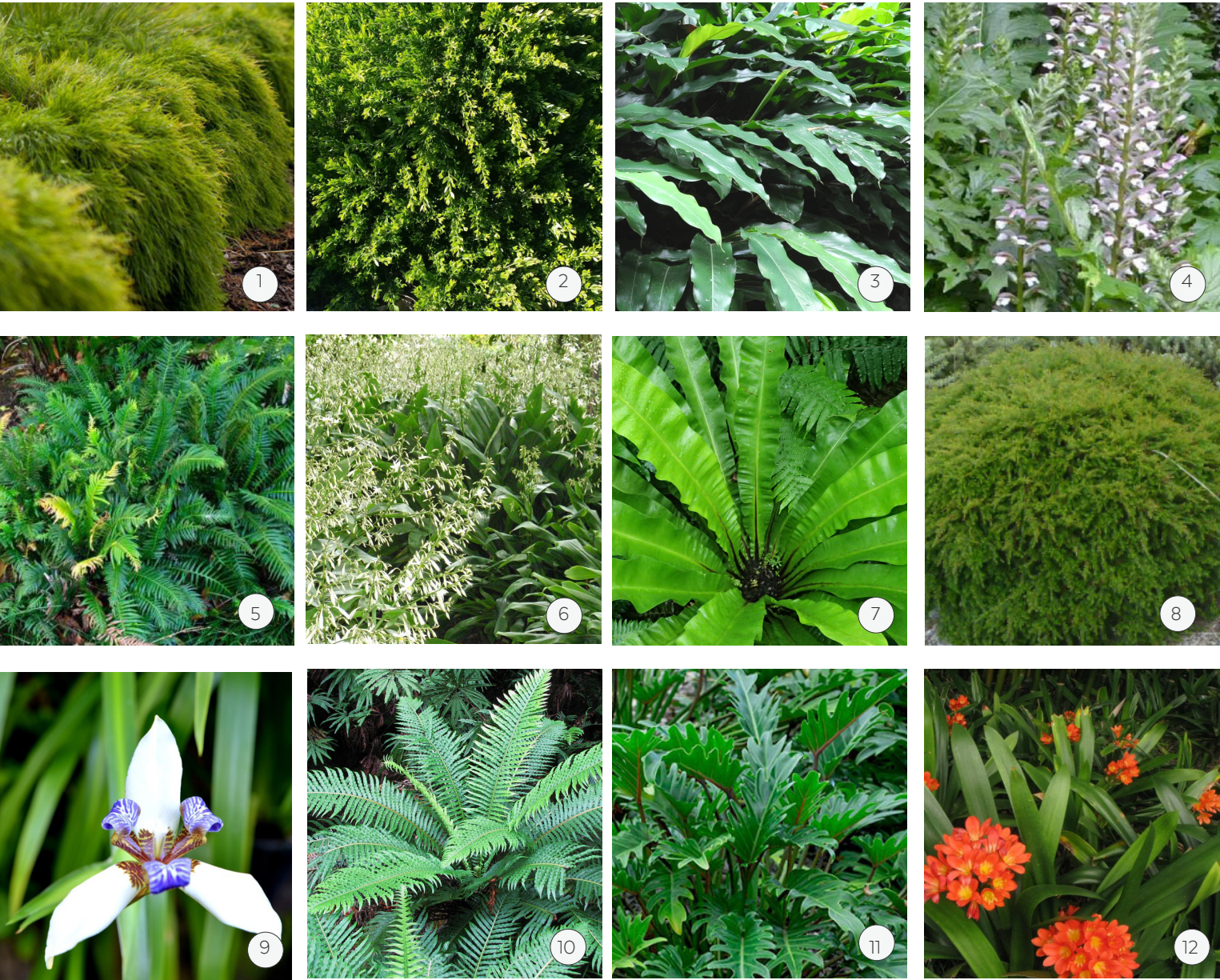
19. Doodia aspera  
20. Doryanthes excelsa  
21. Eriostemon myoporoides 'Profusion'  
22. Hardenbergia spp.  
23. Helichrysum petiolare  
24. Limonium perezii

25. Lomandra longifolia  
26. Neomarica gracilis  
27. Ozothamnus diosmifolius 'Radiance'  
28. Philodendron 'Xanadu'  
29. Prostanthera cuneata  
30. Raphiolepis 'Snow maiden'

31. Senecio serpens  
32. Trachelospermum jasminoides  
33. Viola hederacea



Planting | Shrubs and understorey- Southern and Eastern Courtyard



1.

Acacia ‘Limelight’
2.

Acacia ‘Honeybun’
3.

Alpinia nutans
4.

Acanthus mollis
5.

Adenanthos sericeus
6.

Arthropodium cirratum
7.

Asplenium australasicum
8.

Babingtonia virgata ‘Howie’s Sweet Midget’
9.

Neomerica gracillius
10.

Blechnum ‘Silver Lady’
11.





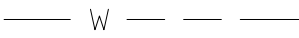




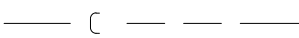

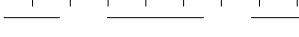



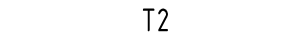
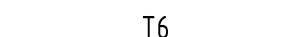










Chrysocephalum apiculatum
12.

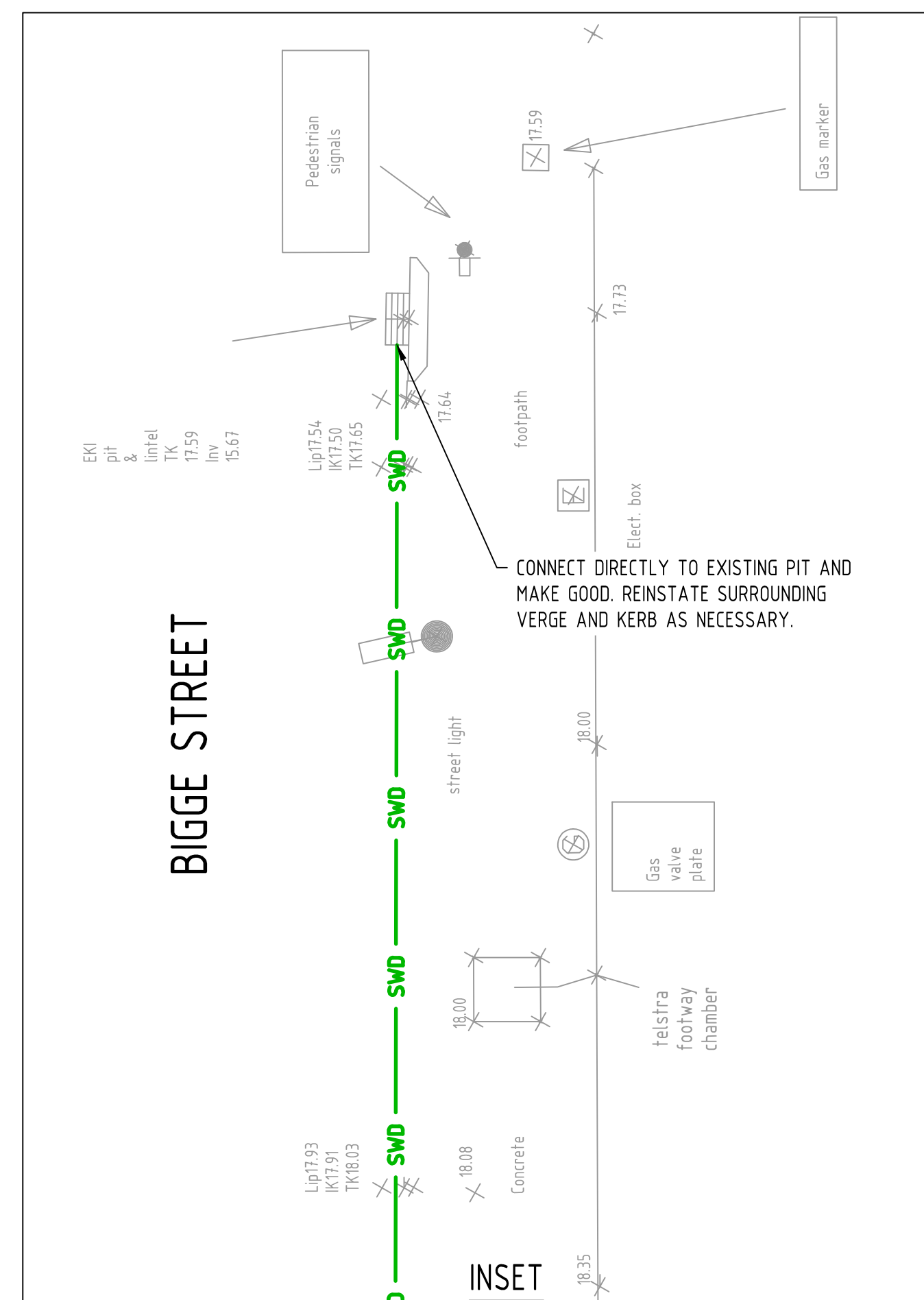
Clivia miniata

BOTANICAL NAME	COMMON NAME	MATURE SIZE	POT SIZE
SHRUBS AND GROUNDCOVERS			
Acacia 'Honeybun'	Honey Bun Wattle	1.5 x1.5	300mm
Acacia 'Limelight'	Dwarf River Wattle	1 x 1.2	200mm
Alpinia nutans	Cardamom	1 x 1.2	200mm
Acanthus mollis	Oyster plant	0.7 x 0.7	200mm
Adenanthos sericeus	Woolly Bush	2 x 1	300mm
Arthropodium cirratum	Renga renga Lily	0.7 x 0.5	200mm
Asplenium australasicum	Birds nest fern	1 x 1	200mm
Babingtonia virgata 'Howie's Sweet Midget'	Heath Myrtle	1 x 1	200mm
Banksia 'Pygmy possum'	Prostrate Banksia	0.5 x 2.5	200mm
Blechnum gibbum 'Silver Lady'	Silver Lady Fern	0.7 x 0.7	200mm
Blechnum nudum	Fishbone water fern	0.7 x 0.7	200mm
Chrysocephalum apiculatum	Yellow Buttons	0.6 x 0.9	200mm
Clivia miniata	Clivia	0.7 x 0.7	200mm
Correa baeuerlenii	Chefs Cap Correa	1.5 x 1.5	200mm
Crowea exalata 'Edna Walling Crowea'	Crowea	0.45 x 0.8	200mm
Dianella caerulea	Flax Lily	0.75 x 0.75	200mm
Dianella longifolia	Flax Lily	0.8 x 0.5	200mm
Dichondra 'Silver Falls'	Silver Falls	0.2 x 1.5	200mm
Dichondra repens	Kidney weed	0.3 x 1	200mm
Doodia aspera	Prickly Rasp Fern	0.5 x 0.5	200mm
Doryanthes excelsa	Gymea lily	1.5 x 1.5	
Eriostemon myoporoides 'Profusion'	Wax flower	0.8 x 0.8	200mm
Hardenbergia violacea	Purple coral pea	0.4 x 3	200mm
Helichrysum petiolare	Licorice plant	0.6 x 1.5	200mm
Limonium perezii	Sea lavender	0.6 x 0.6	200mm
Lomandra longifolia	Mat Rush	1 x 1	200mm
Neomarica gracillis	Walking iris	0.6 x 0.9	200mm
Ozothamnus diosmifolius 'Radiance'	Rice Flower	1.5 x 1	300mm
Philodendron 'Xanadu'	Xanadu	0.75 x 0.75	200mm
Prostanthera cuneata	Alpine mint bush	0.5 x 0.5	200mm
Rhaphiolepis 'Snow maiden'	Indian Hawthorn	0.75 x 0.5	300mm
Senecio serpens	Blue chalk plant	0.3 x 1	200mm
Trachelospermum jasminoides	Star jasmine	5 x 1	200mm
Viola hederacea	Native violet	0.2 x 2	200mm

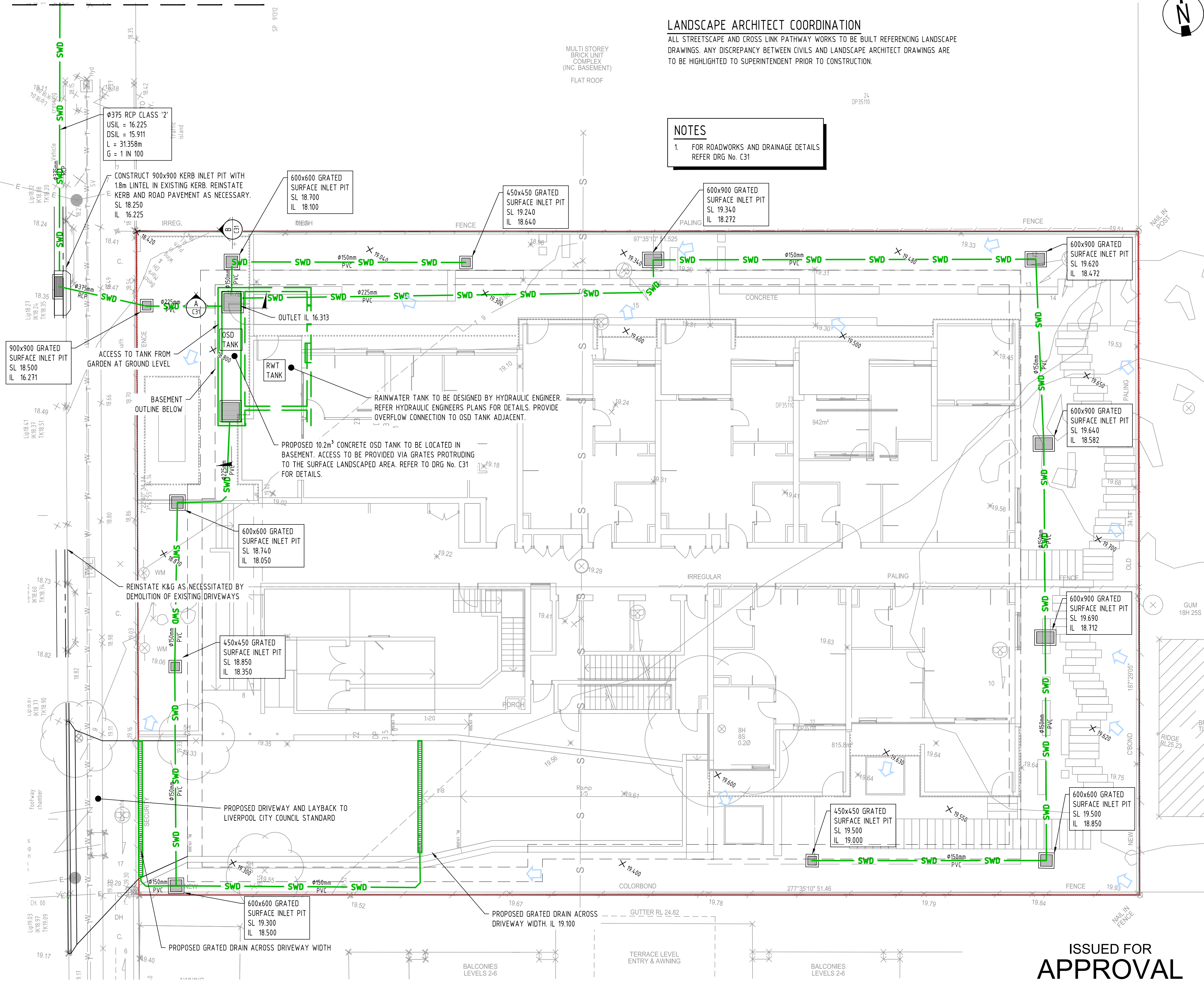


### LEGEND

- |   |   |
|---|---|
|   | SITE BOUNDARY   |
|   | EXISTING PROPERTY BOUNDARY  |
|   | EXISTING EASEMENT BOUNDARY  |
|   | EXISTING SEWER  |
|   | EXISTING WATER  |
|   | EXISTING UNDERGROUND ELECTRICITY  |
|   | EXISTING OVERHEAD ELECTRICITY   |
|   | EXISTING GAS  |
|   | EXISTING NBN  |
|   | EXISTING TELECOMMUNICATIONS   |
|   | EXISTING COMMUNICATIONS   |
|   | ABANDONED SERVICE   |
|   | EXISTING BATTER   |
|   | EXISTING FENCE  |
|   | LIMIT OF WORKS  |
|   | PROPOSED STORMWATER DRAINAGE  |
|   | PROPOSED ROOFWATER DRAINAGE   |
|   | PROPOSED KERB AND CHANNEL IN ACCORDANCE WITH COUNCIL STD DRG BSD-2001     |
|   | PROPOSED CONCRETE INVERT IN ACCORDANCE WITH COUNCIL STD DRG BSD-2001      |
|  | DRAINAGE STRUCTURE LABEL  |
|   | EXISTING ROAD   |
|   | PROPOSED FOOTPATH IN ACCORDANCE WITH COUNCIL STD DRG. BSD-5201            |
|   | PROPOSED ROAD PAVEMENT  |
|   | PROPOSED DRIVEWAY HARSTAND  |
|   | PROPOSED DRIVEWAY CROSSOVER IN ACCORDANCE WITH COUNCIL STD DRG. BSD-2021. |
|  | DIRECTION OF FALL   |
|   | BASEMENT OUTLINE BELOW  |



REFER INSET



## LANDSCAPE ARCHITECT COORDINATION

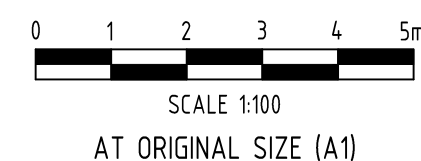
ALL STREETSCAPE AND CROSS LINK PATHWAY WORKS TO BE BUILT REFERENCING LANDSCAPE DRAWINGS. ANY DISCREPANCY BETWEEN CIVILS AND LANDSCAPE ARCHITECT DRAWINGS ARE TO BE HIGHLIGHTED TO SUPERINTENDENT PRIOR TO CONSTRUCTION.

## NOTES

1. FOR ROADWORKS AND DRAINAGE DETAILS  
REFER DRG No. C31

ISSUED FOR  
**APPROVAL**

E	27.03.20	ISSUED FOR APPROVAL		AGC	ST
D	16.05.19	ISSUED FOR DA		SF	JRH
C	06.05.19	ISSUED FOR DA - AMENDED PIT LOCATION		SF	JRH
B	02.05.19	ISSUED FOR DA		SF	JRH
A	29.04.19	Issued for Information		SF	JRH
Rev	Date	Description		By	Chk



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SUNSHINE COAST / SYDNEY / TOOWOOMBA

Client	HUTCHINSON BUILDERS
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Project Name  
4-6 BIGGE STREET  
WARWICK FARM

Discipline	CIVIL
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Designed By	SE
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Project No.

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Checked By	IRH
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Drawn By	
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Status	PRELIMINARY
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Approved By	
IRH	

	Scale at A1

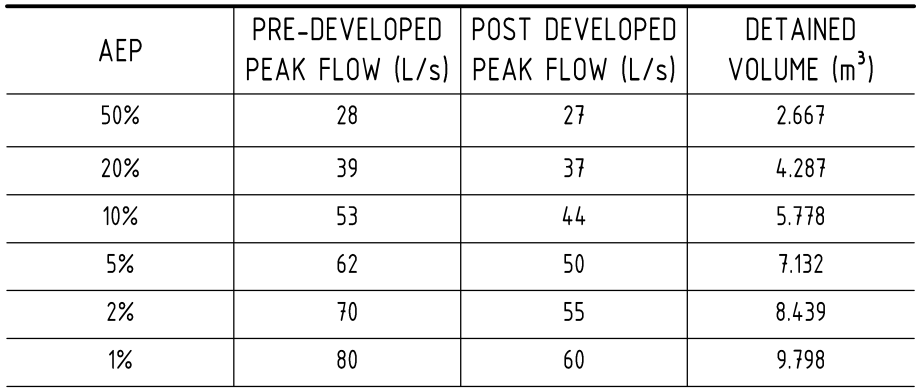
Title	ROADWORKS AND DRAINAGE LAYOUT PLAN
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Drawing No.	C30
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Revisio  
E



- REFER TO DWG C01 FOR GENERAL NOTES.
2. REFER HYDRAULIC DRAWINGS FOR BASEMENT, ROOF AND UPPER LEVEL TERRACES DRAINAGE.
3. ALL ROADWORKS AND DRAINAGE (EXTERNAL TO SITE BOUNDARIES AND/OR COUNCIL OWNED DRAINAGE PIPES INTERNAL TO THE SITE BOUNDARIES) CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH LIVERPOOL CITY COUNCIL DEVELOPMENT GUIDELINES, DRAWINGS AND SPECIFICATIONS.
4. ALL DRAINAGE CONSTRUCTION (PRIVATELY OWNED DRAINAGE LINES INTERNAL TO THE SITE BOUNDARIES) CONSTRUCTED AND TESTED TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
5. ALL STORMWATER DRAINAGE PIPES INTERNAL TO SITE SHALL BE:
  - a) 225 DIA TO 375 DIA uPVC S8 RUBBER RING JOINTED, BLACKMAX OR APPROVED EQUIVALENT.
  - b) 450 DIA TO 600 DIA PP S8 RUBBER RING JOINTED, BLACKMAX OR APPROVED EQUIVALENT.
6. ALL STORMWATER DRAINAGE PIPES EXTERNAL TO SITE SHALL BE:
  - a) 300 DIA AND GREATER CLASS 2 OR 3 R.C. RUBBER RING JOINTED
7. ALL STORMWATER PIPES ARE TO BE MANUFACTURED TO RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO AS4058 AND AS1992.
8. STORMWATER DRAINAGE AND STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ONLY. CONTRACTOR TO CONSIDER CONSTRUCTION LOADINGS AND ENSURE NO EXCESSIVE LOADS ARE PLACED ON STORMWATER DRAINAGE OR STRUCTURES.
9. ALL PRECAST END STRUCTURES TO BE CONSTRUCTED WITH REINFORCED CONCRETE END WALL.
10. CONTRACTOR TO CONFIRM LOCATION AND LEVEL OF EXISTING STORMWATER DRAINAGE WHERE CONNECTING ON TO EXISTING.
11. CONTRACTOR TO NOTIFY THE SUPERINTENDENT OF ANY UNSUITABLE FOUNDING MATERIAL WITHIN DRAINAGE TRENCH OR STORMWATER STRUCTURES AND AWAIT DIRECTION PRIOR TO LAYING OF PIPES.
12. TRENCH BACKFILL UNDER PAVEMENT TO BE COMPACTED TO 100% STANDARD DRY DENSITY (AS1289 5.1.1) IN LAYERS NOT EXCEEDING 150mm OF CBR 15 MATERIAL OR APPROVED EQUIVALENT. TRENCH BACKFILL IN ROADS TO BE MINIMUM CBR15 MATERIAL UP TO ROAD SUBGRADE LEVEL.
13. ALL STORMWATER GRATES/LIDS WITHIN TRAFFICABLE AREAS TO BE CLASS "D" IN ACCORDANCE WITH AS3996.
14. ALL GRATES AND LIDS SHALL SIT FLAT WITH ITS SURROUND AND NOT BE LOOSE OR MOVE UNDER WHEEL LOADS.
15. ALL STORMWATER STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH PROJECT SPECIFICATION, AND LOCAL AUTHORITY GUIDELINES AND SPECIFICATIONS. WHERE STRUCTURES EXCEED MAXIMUM DEPTH AS IDENTIFIED WITHIN STANDARD DRAWINGS THE CONTRACTOR WILL ENSURE AN ADEQUATE STRUCTURAL DESIGN IS UNDERTAKEN FOR THE SUBJECT STRUCTURE TO BE CONSTRUCTED TO.
16. CONTRACTOR TO ENSURE ALL MANHOLE STRUCTURES COMPLY WITH THE MAXIMUM DEPTH SPECIFIED IN THE PROJECT SPECIFICATION OR LOCAL AUTHORITY FROM FINISHED SURFACE LEVEL TO UNDERSIDE OF ROOF SLAB. ANY NON CONFORMANCE IS TO BE RECTIFIED AT THE CONTRACTORS EXPENSE.
17. CONTRACTOR TO INSTALL STEP IRONS WITHIN MANHOLES/FIELD INLETS WHERE REQUIRED BY LOCAL AUTHORITY.
18. ALL FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH ARCHITECTURAL/LANDSCAPING DRAWINGS AND RELEVANT AUTHORITY STANDARD DRAWINGS AND SPECIFICATIONS. FOOTPATHS TO BE CONSTRUCTED WITH MAXIMUM 2% CROSSFALL. SHOULD CONSTRUCTED FOOTPATHS EXCEED 2.5% CROSSFALL, THE CONTRACTOR WILL BE REQUIRED TO RECTIFY BY REMOVING AND REPLACING AT THEIR COST.
19. WHERE A STORMWATER DRAINAGE TRENCH HAS BEEN CONSTRUCTED LONGITUUDINALLY IN THE ROAD, THEN THE FINAL PAVEMENT SURFACE REPAIR WIDTH IS TO MATCH THE EXISTING LANE WIDTH AND TERMINATE 50mm CLEAR OF THE ROAD CENTERLINE OR LANE LINE LINEMARKING TO ALLOW FOR THE BITUMEN EMULSION JOINT SEAL. REINSTATEMENT OF SURFACE ADJACENT TO THE KERB OR ROAD PAVEMENT EDGE TO EXTEND FULLY TO THE KERB LINE OR EDGE OF PAVEMENT.
20. THE CONTRACTOR IS TO CONFIRM THE LOCATION OF SERVICE CONDUITS WITH THE SUPERINTENDENT PRIOR TO LAYING STORMWATER DRAINAGE. ALL TRENCH EXCAVATION AND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORKPLACE HEALTH AND SAFETY ACT 2011.
21. REMOVE ANY REDUNDANT DRAINAGE OUTLETS FROM THE KERB AND CHANNEL INCLUDING ANY ASSOCIATED PIPEWORK ACROSS THE FOOTWAY AND REINSTATE THE KERB AND CHANNEL AND THE FOOTWAY AREA IN ACCORDANCE WITH COUNCIL GUIDELINES.
22. CONTRACTOR TO UNDERTAKE ROADWORKS TESTING IN ACCORDANCE WITH COUNCIL GUIDELINES, DRAWINGS AND SPECIFICATIONS.
23. CONTRACTOR TO UNDERTAKE AND PROVIDE CCTV OF ALL STORMWATER LINES AT ON MAINTENANCE AND OFF MAINTENANCE. SHOULD THE CCTV IDENTIFY DAMAGE OR CRACKING WITHIN THE STORMWATER PIPES, THE CONTRACTOR WILL RECTIFY THE DAMAGE WITHIN THE PIPES BY MEANS DIRECTED BY THE SUPERINTENDENT WHICH MAY INCLUDE BUT NOT BE LIMITED TO PIPE RELINING OR PIPE REPLACEMENT.



Technical drawing of a square plate with the following specifications:

- Overall dimensions: 0.50m x 0.50m.
- Central opening: 250mm x 250mm.
- Plate material: 500x500x6mm NON CORROSIVE S.S. PLATE.
- Fasteners: 4x10mm DYNABOLTS (indicated by red dots at the corners).
- Orifice:  $\phi 140$ mm ORIFICE WITH SHARP EDGES MACHINED TO  $\pm 0.5$ mm ACCURACY.
- Dimensional callouts: 0.05m TYP. (top edge), 0.13m (bottom edge offset).

SCREEN TO BE ORIENTED SO THAT OPENINGS ARE ANGLED FACING TOWARDS THE OUTLET

LYSAGHT MAXIMESH RH3030 (HOT DIPPED GALVANISED) OR EQUIVALENT

LIFTING HANDLE/S

2x TRIANGULAR MAXIMESH PANELS TO BE WELDED TO RECTANGULAR PANNEL TO FORM SCREEN

MAX. 0.60m

MAX. 0.60m

MAX. 0.60m

NTS

C	27.03.20	ISSUED FOR APPROVAL		AGC	ST
B	16.05.19	ISSUED FOR DA		SF	JRH
A	02.05.19	ISSUED FOR DA		SF	JRH
Rev	Date	Description		By	Chk

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SUNSHINE COAST / SYDNEY / TOOWOOMBA

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Revisor